

Caregiver Application Fee

Currently there is no fee associated with a caregiver application however, the same administrative duties are required to process the application. For this reason, our application fees should all be \$50.00 non-refundable (this would include purchase, rental/non-owner and caregiver applications). This would also keep them all uniform and stop false applications.

HOLIDAY PARK, PARK & RECREATION DISTRICT
ARCHITECTURAL PERMIT APPLICATION

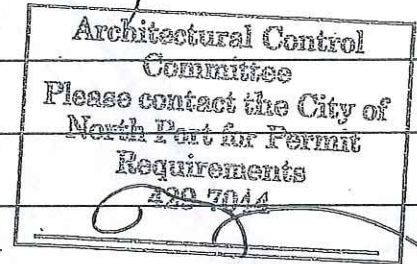
APU NO 3567
Jan 18

This application must be submitted at least 48 hrs. before the Architectural Control Committee meeting with detailed information of the material to be used.

Property Owner: BRETT MOUNSEY / Kim Branch Date 3/28/18
Address 5544 HOLIDAY PARK BLVD Phone (904) 206-0623
(866) 978-6381

Description of Work to Be Done

ADD CARPORT AND ASSOCIATED DRIVEWAY AND SIDEWALKS



Name of Contractor ALL AMERICAN ALUMINUM

(By signing I agree to review the Architectural Control Committee Rules & Regulations and will comply before proceeding with the project.)

Signed [Signature]
Owner

The Committee has reviewed the application and recommends the following:

Rejected due to Rule #13 & DEED RESTRICTION #3 R&B
will ~~with~~ request Variance from Trustees

Additional Exception to Approval:

- A. That the proposed improvements be in accord with all codes and ordinance of Governmental Agencies.
- B. Any utility easement or other Rights-of-Way.
- C. Applications must include dimensions.

Approved _____ Disapproved ✓ Date 9-7-18

Signed Robert L. Barber
Architectural Control Committee

This application approval does not grant permission to violate any Holiday Park Deed Restrictions, Holiday Park Rules & Regulations or Architectural Committee Rules! (Any deviation from approval shall be subject to cancellation of permit.)

See Reverse Side for Drawlines

s, & underground utilities are not shown.

Parcel #1000-03-0144
5544 Holiday Park Blvd.
North Port, FL 34287

Latitude 27°02'23.2" North
Longitude 82°13'51.8" West

LOT 143
BLOCK 1
RESIDENCE

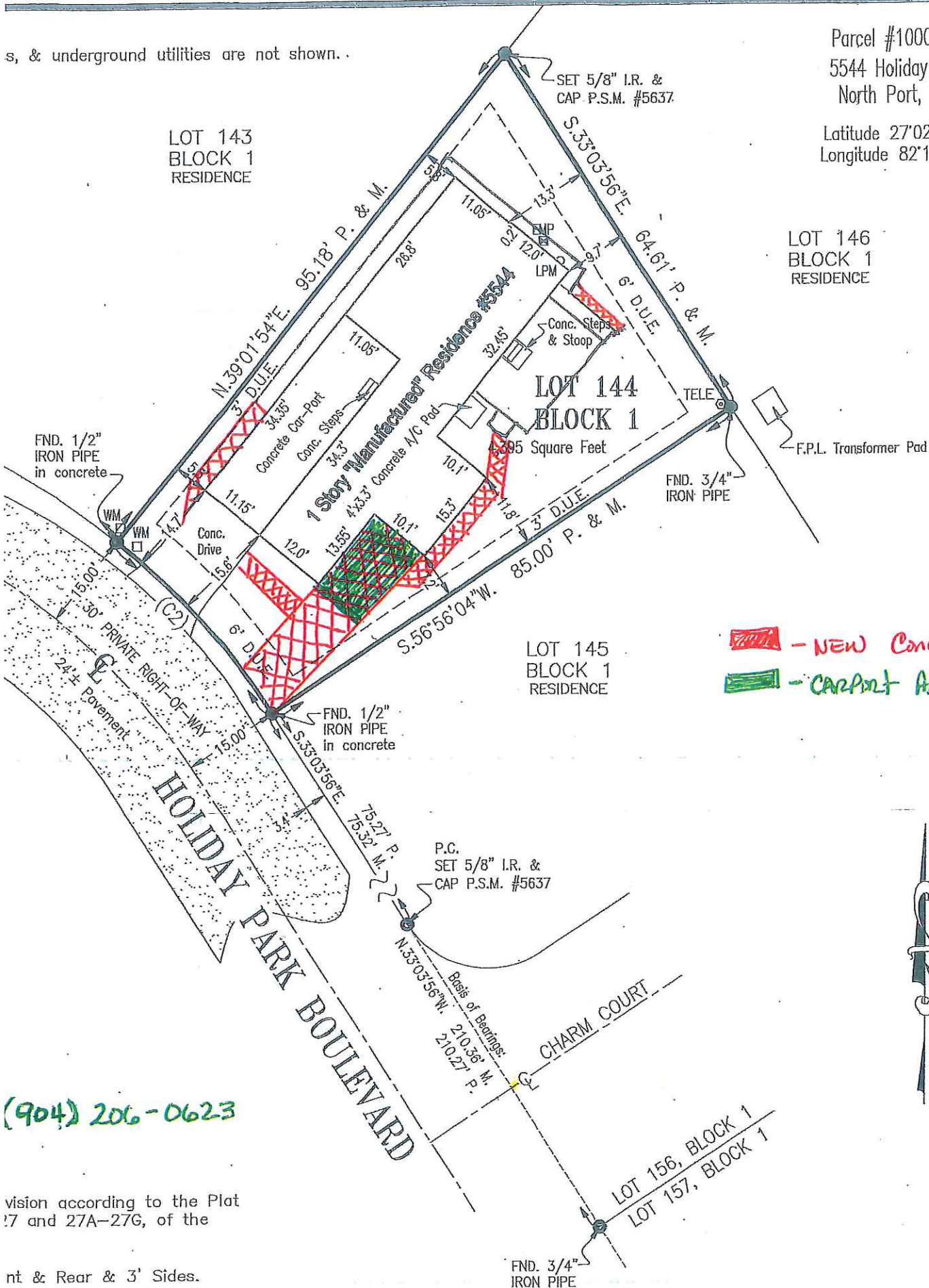
LOT 146
BLOCK 1
RESIDENCE

LOT 144
BLOCK 1

4,395 Square Feet

LOT 145
BLOCK 1
RESIDENCE

 - NEW Concrete
 - CARPORT Addition



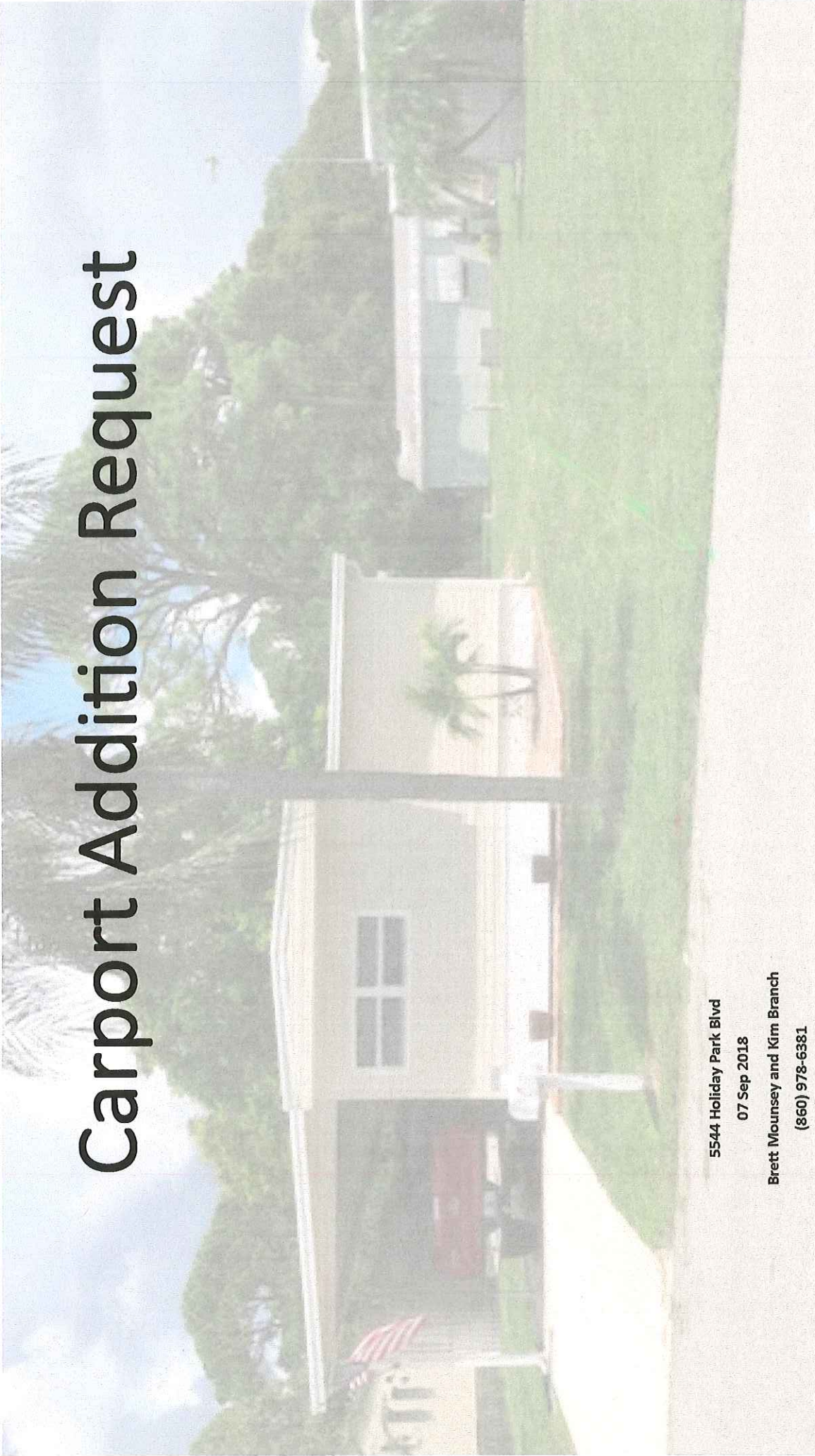
(904) 206-0623

vision according to the Plat
17 and 27A-27G, of the

nt & Rear & 3' Sides.

FND. 3/4"
IRON PIPE

Carpport Addition Request



5544 Holiday Park Blvd

07 Sep 2018

Brett Mounsey and Kim Branch

(860) 978-6381

Current Conditions

- We are the full-time resident owners of a singlewide with left and right "bump out" rooms, single side carport conforming to all HOA requirements and a screened patio.
- We have submitted a request to install a second carport on the opposite side of the mobile home and other minor concrete connectors.
- Submitted March 2018 but could not attend meeting. Received call from the park that the request had been denied due to the carport not being 16' long and other issues.
- In August 2018, met with Bob and discussed rules, property lines vs. set backs of project and issues unique to this request. Bob agreed that we should submit again for re-consideration during the ACC meeting on Sep 7.
- We will commit that the additional will not be enclosed and include the prohibition to close in as part of the closing if/when we may sell in the future.
- We will maintain all other park controls for structure and lawns to include lawn and grass requirements to the front, rear, and sides of the unit.

Submitted Documents

HOLIDAY PARK & RECREATION DISTRICT ARCHITECTURAL PERMIT APPLICATION NE 3187

No application fee for initial review. A fee of \$100.00 is required for the Architectural Committee meeting with the applicant.

Project Owner: Paul Threlkeld / Kim Powell Date: 8/26/18
 Address: 5501 Holiday Blvd, Davis Phone: (904) 206-0623
CEW'S #118-14381

Description of Work to be Done:
ADD CONCRETE AND FINISHING TO EXISTING DRIVEWAY AND SIDEWALKS

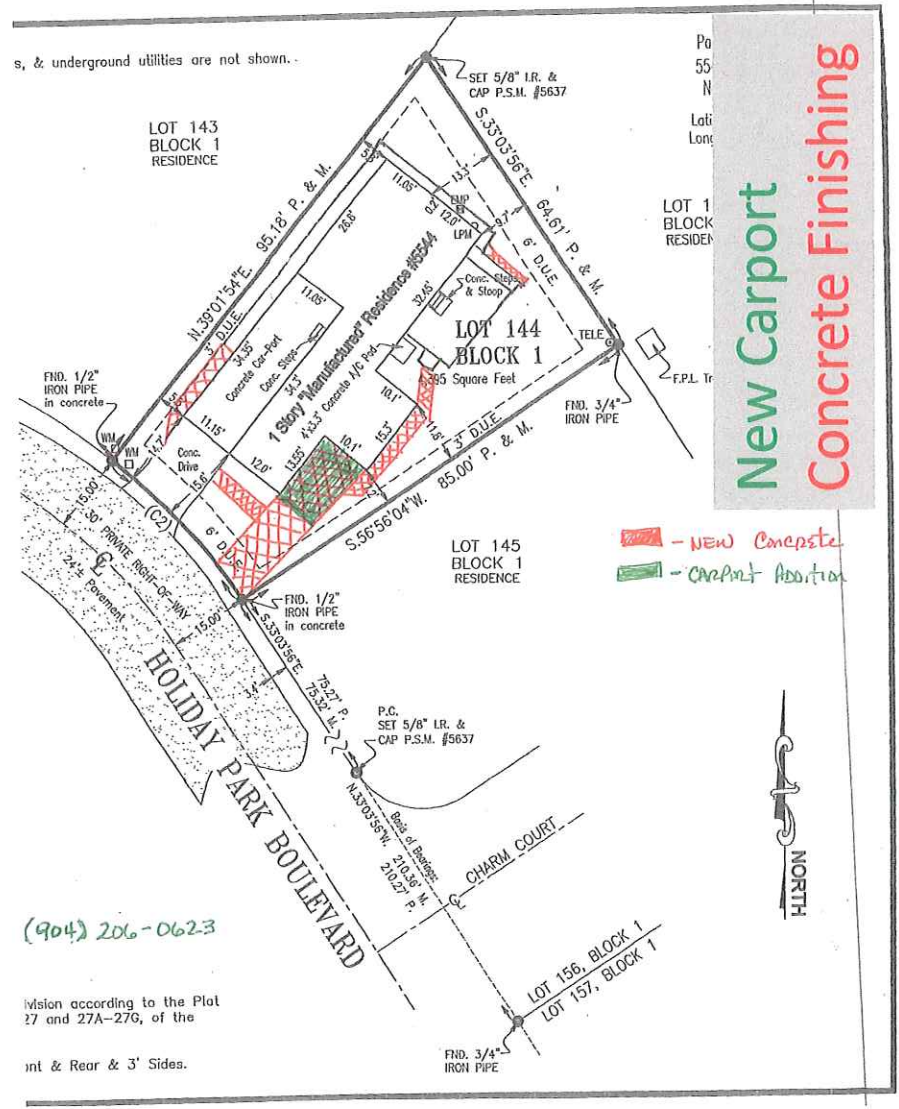
Architectural Committee
 Name of Contractor: ALL AMES CO. (LUMBER)
 Signature: [Signature]
 Title: Owner

The Architectural Committee has reviewed the application and recommended the following:
 Approved: _____ Date: _____
 Disapproved: _____ Date: _____

Address of Description to Applicant:
 A. The Architectural Committee comments be in record with all cities and counties of
 Governmental Agencies.
 B. Any utility easement or other rights of way.
 C. Any other conditions or other requirements.

Approved: _____ Date: _____
 Architectural Control Committee

This information is provided for your information only. It is not intended to constitute an offer of insurance. For more information, please contact your insurance agent. See Reverse Side for Details.



(904) 206-0623

Mission according to the Plot 27 and 27A-27G, of the
 front & Rear & 3' Sides.

- We are requesting this solution to add a carport and sidewalks while eliminating adverse impacts:
- No vehicles on street
 - No vehicles on lawn
 - Uniformity with existing structures
 - Elimination of 'creative engineering' solutions currently seen throughout the park

Existing Property View and Standards




- We are using a survey taken on the property in 2017.
- Pins have been identified for the survey points and used in all calculations.
- This request does not violate any city, county or state ordinance and if/when approved will be performed by a licensed contractor required to meet all code enforcement standards.

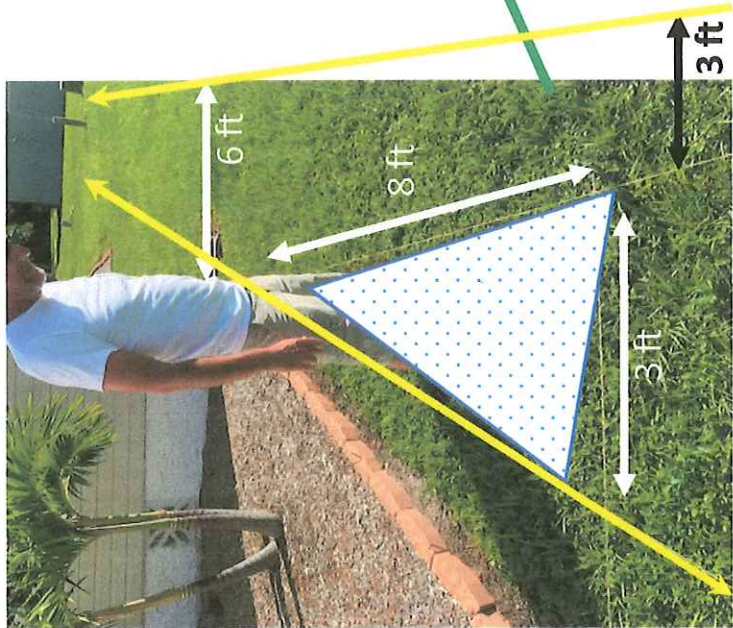
360 View of areas that about the requested variance.



What is ACTUALLY REQUIRED to execute plan?

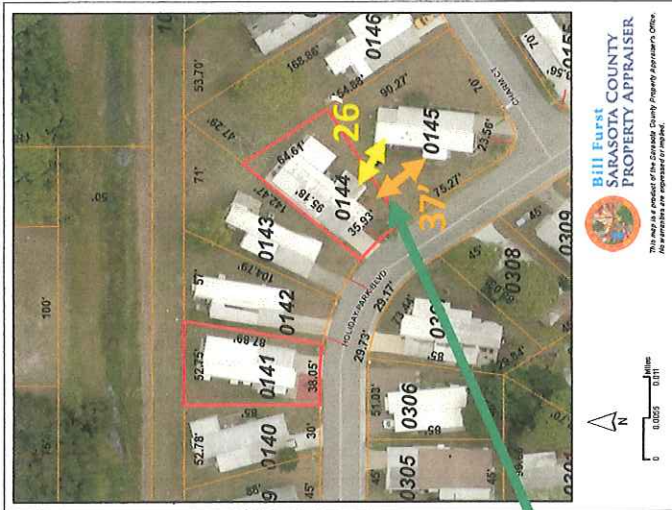


-  • Existing and final Closest Distance 26'
-  • Closest New Carport Distance 37'
-  • Location of Interference Area



6' Park Setback

3' City Setback



Area of a Triangle = $h_b b / 2$
 $(8 * 3) / 2 = 12 \text{ ft}^2$



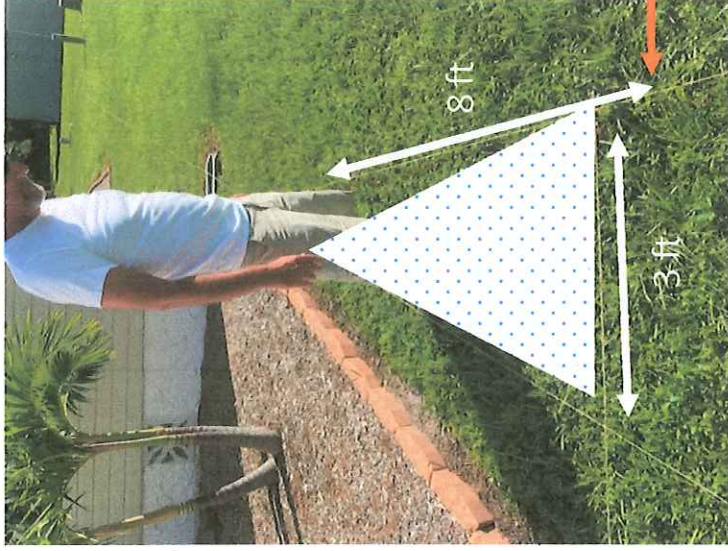
ACC Rules for Structures



- 3. With respect to each residential lot:
 - (b) No home shall be placed upon any lot unless there is also affixed thereto a carport approved by the District's Board of Trustees. Provided, however, that no home, structure, add-on or accessory shall be placed or erected on any lot
 - closer than six feet (6') from the property line on the sides, ✗
 - ten feet (10') from the property line at the rear and ten feet (10') from the line abutting the road.
 - All measurements shall be from the base of the unit. The front setback shall conform to the set back line established by adjoining units.

Architectural Requirement Impact

- No vehicles on street
- No vehicles on lawn
- Uniformity with existing structures
- Elimination of 'creative engineering' solutions currently seen throughout the park



Area of a Triangle = $h_b b / 2$
 $(8 * 3) / 2 = 12 \text{ ft}^2$

#1 The Architectural Committee shall have the authority to deviate from the rules under the following conditions:

1. Deviations are not excessive.
2. There must be a good reason for the deviation.
3. All setbacks front lines, sidelines and rear lines must be adhered to.
4. The deviations must be approved by the majority of the quorum.
5. Deviations are not in conflict with the Deed Restrictions.

Homeowners and Contractors

Please review the rules and regulations of the Architectural Control Committee, which has been approved by the Board of Trustees of Holiday Park, Park and Recreation District, and shall be enforced by the Trustees.

These rules were designed to maintain the integrity and esthetic value of Holiday Park, which attracted you to the community.

The Committee is here to assist you and to make every effort to assure your projects proceed painlessly and enjoyable.

Please feel free to contact the Park Manager if you have any questions regarding your projects.

For the benefit of these rules and regulations, the Architectural Control Committee shall hereafter be referred to as A.C.C.

Any deviation to these rules shall be reviewed and approved by the Board of Trustees.

Any deviation from the original application requests shall be made in writing and signed by the homeowner and approved by the Trustees.

Best of luck with your project
Holiday Park, Architectural Control Committee

May 1988 Revised 03/10/11 Revised 03/9/17
Revised 11/11/91 Revised 05/05/11
Revised 4/4/95 Revised 04/12/12
Revised 12/11/97 Revised 10/11/13
Revised: 4/9/09 Revised 2/12/15
Revised 5/6/10 Revised 5/7/15

Holiday Park, Park and Recreation District
Architectural Control Committee
Rules and Regulations

#1 ATTACHED

- #1 A The Homeowner shall be responsible for submitting an application for improvements, all work done on outside of house to the Architectural Control Committee. Permit to be returned upon completion.
- #2 The Homeowner or Contractor shall be responsible for locating all property lines and supply flagged markers a minimum of two (2) feet in height at each property marker.
- #3 No work shall commence unless the application has been submitted and approved by the Architectural Control Committee.
- #4 Signs Contractor's signs shall be placed against the front of the coach and removed upon completion of work.
- #5 ^{WILL} Contractor shall be available when submitting application for a new home replacement, upon request of the A.C.C.
- #6 Air Conditioning Compressors shall be marked on the plans and placed at the most efficient location at ground level.
- #7 There shall be only single story homes permitted in the park.
- #8 A plot plan is required when adding a structure outside the original footprint of the home. The plot plan shall include
- a. A detailed drawing as to the original structure location.
 - b. The proposed addition with dimensions.
 - c. Dimension of the property, which includes property line offsets.
 - d. Survey required.
- #9 A certified plotted survey will be required with the application when a coach is replaced upon any lot.
- #10 When a dispute or disagreement occurs with an adjoining property owner regarding lot lines, the complainant shall provide a certified survey.
- #11 When the applicant has met the requirements of the Architectural Control Committee and the City of North Port Building Department, ALL permits shall be posted on the front of the coach or permit board. ALL CAPS

#12 Spacing - No more than fifty percent (50%) of the total lot area shall be occupied by the coach, building or structure.

#13 The coach shall not be placed upon any lot unless there is also affixed thereto a carport, a minimum of sixteen (16) feet length by eleven foot (11) wide in the clear.

a. No coach, structure, shall be placed or erected on any lot closer than six feet (6) from the property line on the sides, ten (10) feet from the property line at the rear and ten (10) feet from the property line abutting the road.

All measurements shall be from the base of the unit.

b. The front set back shall conform to the set back line established by adjoining units and shall not be closer than 15 feet from the property line.

DELETE

c. All Coaches or structures shall be finished with an approved siding.

#14 Overhang- Each coach can have a maximum of a twelve (12) inch overhang on the side, front and back.

#15 Existing Carports - Roofs may be extended up to four (4) feet under the following conditions:

a. They do not encroach on the building set back line.

b. They do not visually impair the neighboring property.

c. Extended carport roof cannot have decorative screening within the extended areas.

d. The esthetic appearance shall be approved by the Architectural Control Committee.

#16 Skirting shall be of decorative block, brick, or vinyl. The block or brick shall have a minimum of four inch (4") spacing. The vinyl shall be of the same color as the home and shall be laid horizontally with proper ventilation. All products used for the vinyl shall be of a termite resistance material. The front of the home shall be enclosed solid, planters are optional. All homes not using vinyl shall use a wire mesh or hardware cloth not to exceed ½ inch in size to keep unwanted animals from under home. All homes shall have adequate ventilation, according to building code requirements. All homes using vinyl siding shall have a minimum of 12 inches of protection around the vinyl siding. This shall consist of curbing, flower beds, sidewalk, mulch beds or stone gardens. Holiday Park will not be responsible for any normal wear & tear caused by lawn care and upkeep.

DELETE

17 The Esthetic Appearance of any exterior change to any coach or attached structures shall be adhered to and considered prior to the issuance of a permit. The esthetic appearance of the coach shall be maintained in respect to all other coaches within the park.

#18 Colors. Coaches being painted or resided shall conform with the esthetic value of the community. Deep colors such as purples, blues, reds, black and browns shall be approved by the Architectural Control Committee. All paint samples shall be submitted and approved by the Architectural Control Committee.

#19 Steps to enter the coach shall not exceed eight (8) inches in height and no less than nine (9) inches in depth. Special exceptions may be made for handicapped

persons and shall conform to State and City Codes. All handicapped ramps must be approved by the Architectural Control Committee.

- #20 All handicap ramps shall be removed upon the sale of the home, unless otherwise requested and approved by the new owner.
- #21 Wood Decks will be permitted under the following conditions:
 - a. They meet the six-foot (6') property offset line and the ten-foot rear lot line.
 - b. Deck and steps shall be constructed of pressure treated Construction Grade Lumber or Engineered Deck Material
 - c. They meet the requirements of the City of North Port Building Code.
- #22 Guttering and Down Spouts shall be installed on coach and added structure. Elbow joints should be at least eight inches (8") from the ground.
- #23 Sufficient Tie Downs to conform with state and local codes shall be attached to each coach.
- #24 Coach Numbers conforming to city requirement shall be attached to the front of the coach in a visible area. Numbers to be 4 to 6 inches high.
- #25 No Garage shall be permitted.
- #26 Carport Screening of lattice or vinyl planking will be permitted under the following conditions:
 - a. Vinyl lattice or 1" x 6" vinyl planking or privacy screening shall be a minimum of 12" down from the carport top and 12" up from the carport concrete.
 - b. A sketch attached to the A.C.C. application with dimensions is required.
 - c. Soffit material will not be approved as carport lattice or screening.
- #27 Solar Panels shall be approved by the A.C.C.
- #28 New plants, shrubbery, Trees and Ornamental Floras should not be added without checking with the A.C.C. Plantings should not hamper the lawn mowing people.
- #29 Lawns Add on concrete driveway cannot encroach on the six foot property line. six foot lawn area shall be maintained from the front property line to the front of the coach on both sides. No lawns are permitted to be covered with gravel or stone. Additional hard surfaces such as concrete shall be approved by the A.C.C. DELETE
MUST BE SUBMITTED FOR APPROVAL BY
- #30 Mailboxes – ALL mailbox posts shall conform in color (White) and style as approved by the Board of Trustees. No newspaper receptacles are permitted.
- #31 No Walls and Fences are permitted.

Decorative ornamental fencing allowed if it meets the following parameters:

- A. It cannot exceed 18" from the footprint of the home and may not exceed 25 linear feet.
- B. It shall be open on each end.
- C. The maximum height is not to exceed 36".
- D. Pickets or planking shall be spaced a minimum of at least 2" apart and not exceed 4".
- E. Only metal, vinyl or pressure treated wood may be used to construct ornamental decoration (fence).

#32 All work is to be started within 90 days of issuance and completed within a year. Permit shall be returned to the A.C.C. upon completion of project.

#34 Carports, Room Additions, Storage Area, Deck and Add-on-Structures outside the original footprint of the Home.

RE DEFINED SEE ATTACHED

- 1. Shall be within 6" inches of original structure.
- 2. To be constructed to conform in appearance with original structure and of same color as coach.
- 3. Be built to a set of plans approved by City Building Department.
- 4. Shall be in compliance with ACC Rules and Regulations #9 and #10.
- 5. Obtain all City and Park permits required.
- 6. Maximum size of shed to be 192sq ft.
- 7. Survey shall be required.
- 8. Skirting shall be required in accordance with rule number 16.

#35 No outside individual antenna, earth station, satellite dish, etc., shall be placed upon any lot or affixed in any manner to any structure thereon without written consent of the ACC. All satellite or earth stations shall be located to the rear of the property if signal can be obtained. Satellite or earth station shall not exceed 1 meter in diameter. Maximum height of antenna not to extend more than 12 feet above the roofline. Satellite dish not to extend 4 feet above the roofline.

THE ARCHITECTURAL CONTROL COMMITTEE SHALL HAVE THE AUTHORITY TO PLACE A STOP ORDER ON ANY PROJECT IN VIOLATION OF THE ARCHITECTURAL CONTROL GUIDELINES.

#34 Carports, Room Additions, Storage Area, Deck and Add-on-Structures.

A. Outside the original footprint of the Home

1. Shall be within 6 inches of original structure.
2. To be constructed to conform in appearance with original structure and of same color as coach.
3. Be built to a set of plans approved by ACC.
4. Shall be in compliance with ACC Rules and Regulations #9 and #10.
5. Obtain all City and Park permits required.
6. Maximum size of shed to be 192 sq ft.
7. Survey shall be required.
8. Skirting shall be required in accordance with rule number 16.

B. Inside original footprint of home

1. In accordance with Rule #13, 16' of carport.
2. To be constructed to conform in appearance with original structure and of same color as coach.
3. Be built to a set of plans approved by ACC.
4. Shall be in compliance with ACC Rules and Regulations #9 and #10.
5. Obtain all City and Park permits required.
6. Skirting shall be required in accordance with rule number 16.