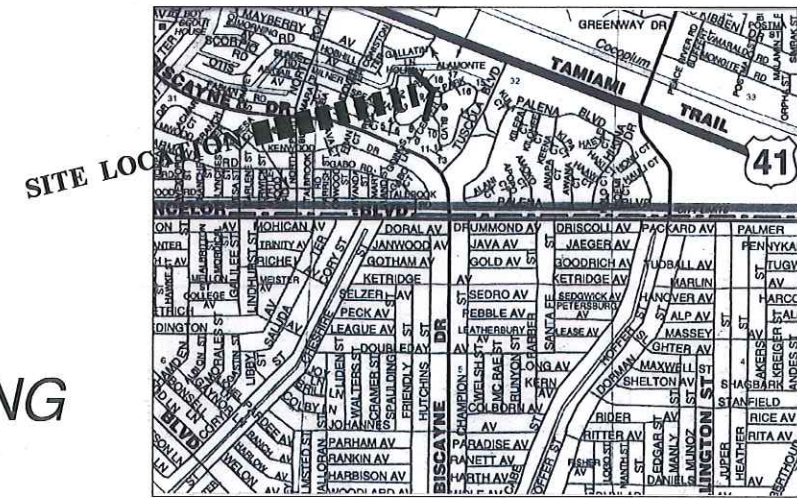


# CONSTRUCTION PERMIT DRAWINGS

## REMODELING AND RENOVATION

FOR: HOLIDAY PARK - COMMUNITY FACILITIES BUILDING



LOCATION MAP



LOCATION SITE PLAN

### LEGEND

LAND AREA	EXISTING (UNCHANGED)
BUILDING AREA	EXISTING (UNCHANGED)
BUILDING AREA	EXISTING (UNCHANGED)
EXISTING	10,177 S.F. - UNCHANGED
EFFECTED BUILDING AREA	4,761 S.F.
PARKING	EXISTING - UNCHANGED
IMPERVIOUS AREA	EXISTING - UNCHANGED
EXISTING	EXISTING - UNCHANGED

LEGAL DESCRIPTION	PER COUNTY RECORDS
-------------------	--------------------

### CODE COMPLIANCE INFORMATION

CODE USED	FLORIDA BUILDING CODE 2020 - 7TH EDITION
CONSTRUCTION TYPE	TYPE VB (EXISTING UNCHANGED)
OCCUPANCY CLASS	GROUP A/B (UNCHANGED)
BUILDING HEIGHT	EXISTING UNCHANGED
HEIGHT IN STORIES	ONE STORY (EXISTING)
GLAZING	NEW DOORS & WINDOWS TO BE IMPACT RESISTANT

### LIST OF DRAWINGS

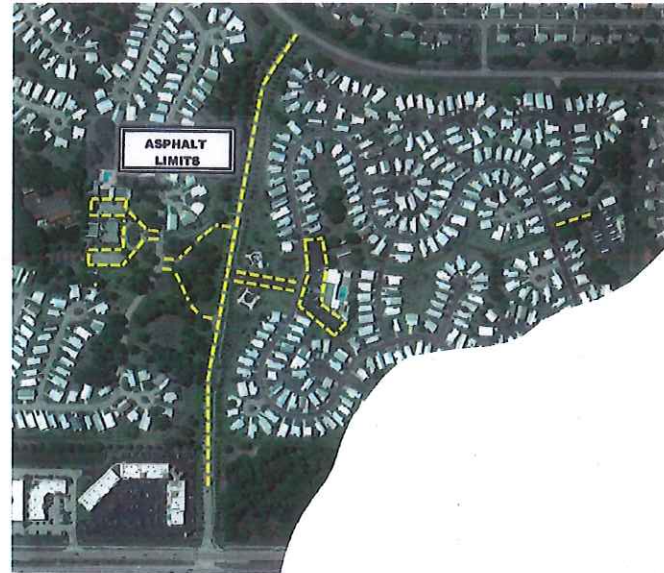
SP-1	SITE & PROJECT INFORMATION
ADD-1	BID ADD ALTERNATES
A-1	EXISTING FLOOR PLAN
A-2	DEMOLITION PLAN
A-3	PROPOSED FLOOR PLAN
A-4	EXTERIOR ELEVATION
A-5	REFLECTED CEILING PLAN - COMMUNITY HALL
A-6	REFLECTED CEILING PLAN - ENTRY, HALLWAY, & LIBRARY
A-7	INTERIOR ELEVATIONS
A-8	SECTIONS & DETAILS
A-9	SECTIONS & DETAILS
M-1	HVAC DEMOLITION PLAN
M-2	PROPOSED HVAC PLAN
M-3	HVAC SCHEDULE & DETAILS
E-1	PROPOSED LIGHTING PLAN
E-2	ELECTRICAL POWER PLAN
E-3	ELECTRICAL NOTES & SCHEDULE

HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
REMODELING AND RENOVATION  
5401 HOLIDAY PARK BOULEVARD  
NORTH PORT, FLORIDA

PRELIMINARY	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
FINAL RECORD	<input type="checkbox"/>
REVISIONS	<input type="checkbox"/>

DRAWN BY  
HB  
CHECKED BY  
EH  
DATE  
OCTOBER 20, 2021  
PLAN NO  
HL 21-1163

SHEET NO.  
COVER



## BID ADD ALTERNATES

1. THE REMOVAL AND DISPOSAL OF 7,218 LF OF CHAIN LINK FENCE (NOT CEMENTED IN) AND REPLACEMENT WITH 7,218 LF ALUMINUM BLACK POWDER COATED 6' HIGH COMMERCIAL FENCING, WITH ONE ( 1 ) 20' GATE. ALL POSTS TO BE CEMENTED IN PLACE.
2. THE COMPLETE MILLING AND REPAVING OF 16,510 SY OF S-111 HOT MIX ASPHALT, AVERAGE OF 1.25", IN LAYOUT DEPICTED.

THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MILLED ASPHALT.

THE CONTRACTOR SHALL REMOVAL, PAINT (YELLOW) AND REINSTALL THE EXISTING PARKING BUMPERS.

THE CONTRACTOR SHALL REPAIR ANY DAMAGED AREAS OF ASPHALT PRIOR TO PAVING.

CONTRACTOR TO INSTALL TACK COAT PRIOR TO NEW ASPHALT INSTALLATION.

NEW PAVEMENT SHALL BE COMPACTED WITH STEEL ROLLERS AND RUBBER TIRE TRAFFIC ROLLER.

CONTRACTOR TO LAYOUT AND STRIPE PARKING SPACES, INCLUDING HANDICAP, IN CLUBHOUSE/OFFICE PARKING LOT, WITH 4" WHITE STRIPS. REPAINT ALL TRAFFIC/PAVEMENT MARKINGS, INCLUDING STOP BARS, ARROWS, NO PARKING AREAS.

CONTRACTOR TO INCLUDE ALL BARRICADES NECESSARY FOR THE PROJECT.

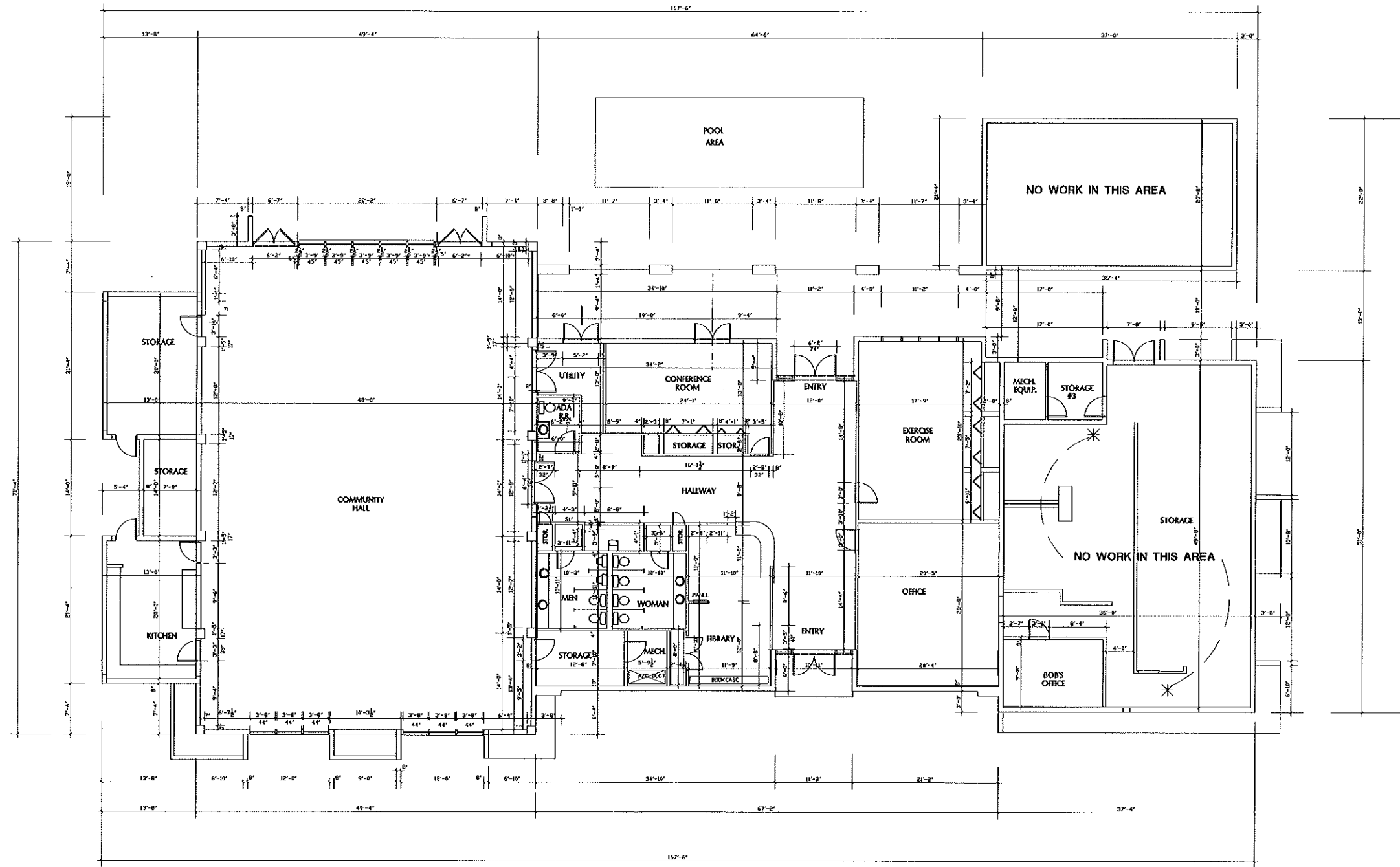
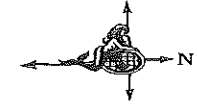
HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
 REMODELING AND RENOVATION  
 5401 HOLIDAY PARK BOULEVARD  
 NORTH PORT, FLORIDA

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 ADD

BID ADD ALTERNATES

COMPCAD 2011 HOLIDAY PARK COMMUNITY FACILITIES BUILDING - 1 - HOLIDAY PARK - EXISTING FLOOR PLAN - FIELD MEASUREMENT - 14 BDALE.dwg, 10/25/2021 10:02:12 AM, PLOT BY: HIBNER + LEVINE + ASSOCIATES - ARCHITECTS & PLANNERS



HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
REMODELING AND RENOVATION  
5401 HOLIDAY PARK BOULEVARD  
NORTH PORT, FLORIDA

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CONSTRUCTION   
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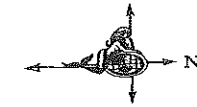
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DATE  
OCTOBER 20, 2021  
PLAN NO.  
HL 21-1163

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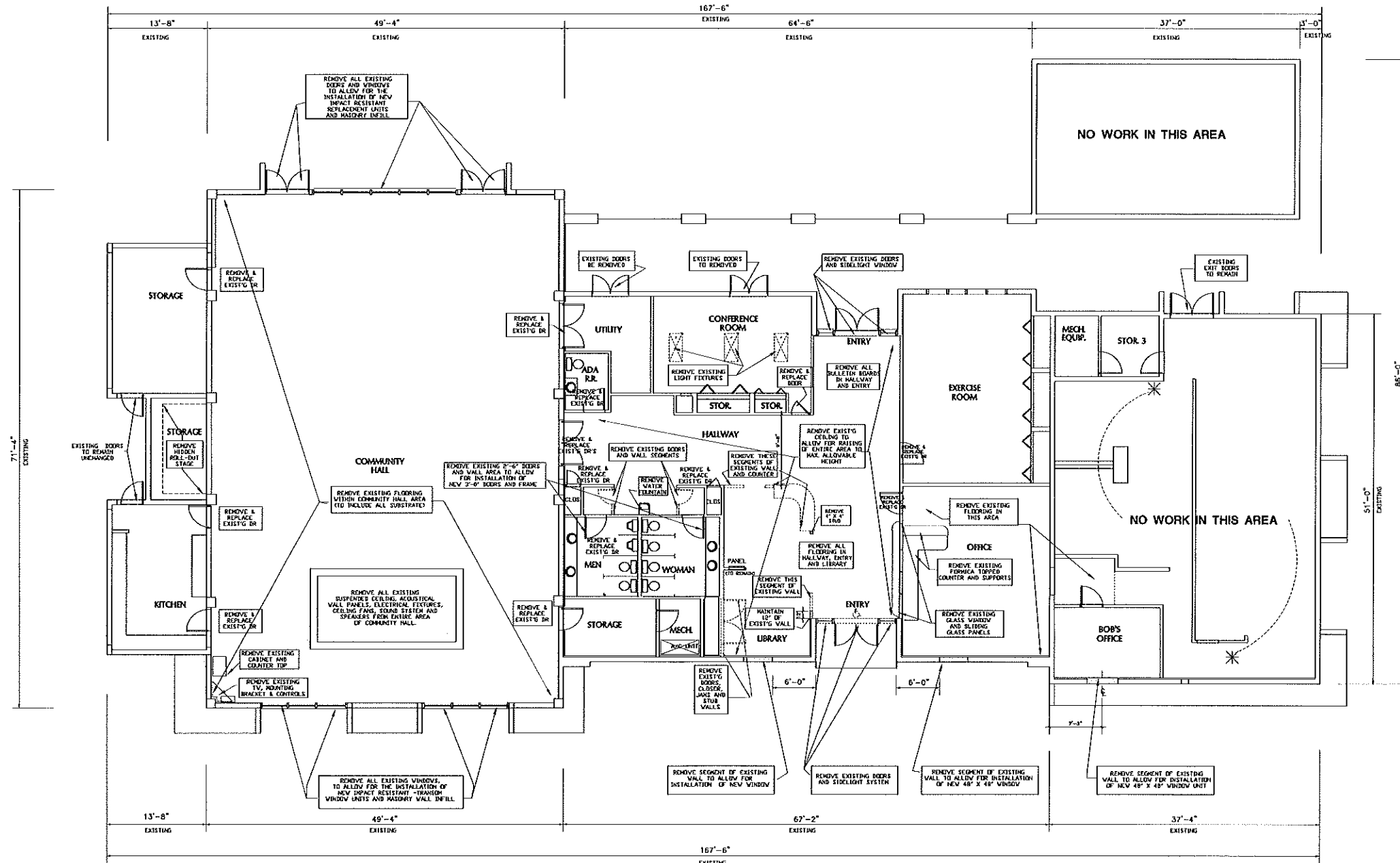
EXISTING FIRST FLOOR PLAN

1/8" = 1'-0"

# SCOPE OF DEMOLITION



- \* REMOVE ALL FLOORING IN COMMUNITY HALL, HALLWAY, ENTRY, LIBRARY, OFFICE AND HALL TO BOB'S OFFICE.
- \* REMOVE SUB FLOOR IN COMMUNITY HALL.
- \* REMOVE ALL DOORS INDICATED (INTERIOR & EXTERIOR) AND EXTERIOR SIDE LITES.
- \* REMOVE ALL WINDOWS IN COMMUNITY HALL.
- \* REMOVE EXISTING COUNTERS IN ENTRY AND OFFICE.
- \* REMOVE EXISTING WALLS AND CASEWORK IN LIBRARY.
- \* REMOVE ALL BASEBOARD AND CHAIR RAIL IN COMMUNITY HALL, ENTRY, HALLWAY AND LIBRARY.
- \* REMOVE WATER FOUNTAIN
- \* REMOVE WING WALLS AND BATHROOM ENTRY WALLS, AS INDICATED.
- \* REMOVE ALL CEILING IN COMMUNITY HALL, HALLWAYS, LIBRARY AND ENTRY.
- \* REMOVE COUNTER TOPS AND GLASS, AT CASHIERS / ENTRY AREA.
- \* REMOVE ALL BULLETIN BOARDS IN HALLWAY AND ENTRY (PROVIDE REMOVED ITEMS TO OWNER)
- \* REMOVE MASONRY WALL AREAS, AS INDICATED ON SHEET A-2, REQUIRED FOR INSTALLATION OF 3 NEW WINDOWS.
- \* REMOVE ALL WALL SOUND PANELS IN COMMUNITY HALL.
- \* REMOVE HIDDEN MOVEABLE STAGE.
- \* REMOVE ALL LIGHT FIXTURES IN CONFERENCE ROOM, COMMUNITY HALL, ENTRY, LIBRARY AND HALLWAY.
- \* REMOVE SPEAKERS IN HALLWAY, ENTRY, AND COMMUNITY HALL.
- \* REMOVE "DISCO BALL" AND STAGE LIGHTS IN COMMUNITY HALL (PROVIDE REMOVED ITEMS TO OWNER)
- \* REMOVE CABINET AND TOP IN COMMUNITY HALL.
- \* REMOVE ALL CEILING FANS FROM COMMUNITY HALL.
- \* REMOVE CORNER MOUNTED, TV STAND FROM COMMUNITY HALL.
- \* REMOVE EXISTING PROJECTION SCREEN AND PROVIDE TO OWNER.
- \* REMOVE ALL EXIT LIGHTS AND EMERGENCY LIGHTS.
- \*\* SEE MECHANICAL PLANS FOR REMOVAL OF A/C DUCTING IN ENTRY & HALLWAY



**DEMOLITION FLOOR PLAN**

HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
 REMODELING AND RENOVATION  
 5401 HOLIDAY PARK BOULEVARD  
 NORTH PORT, FLORIDA

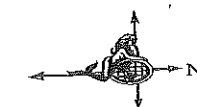
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 FINAL RECORD   
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 PLAN NO.  
 HL 21-1163

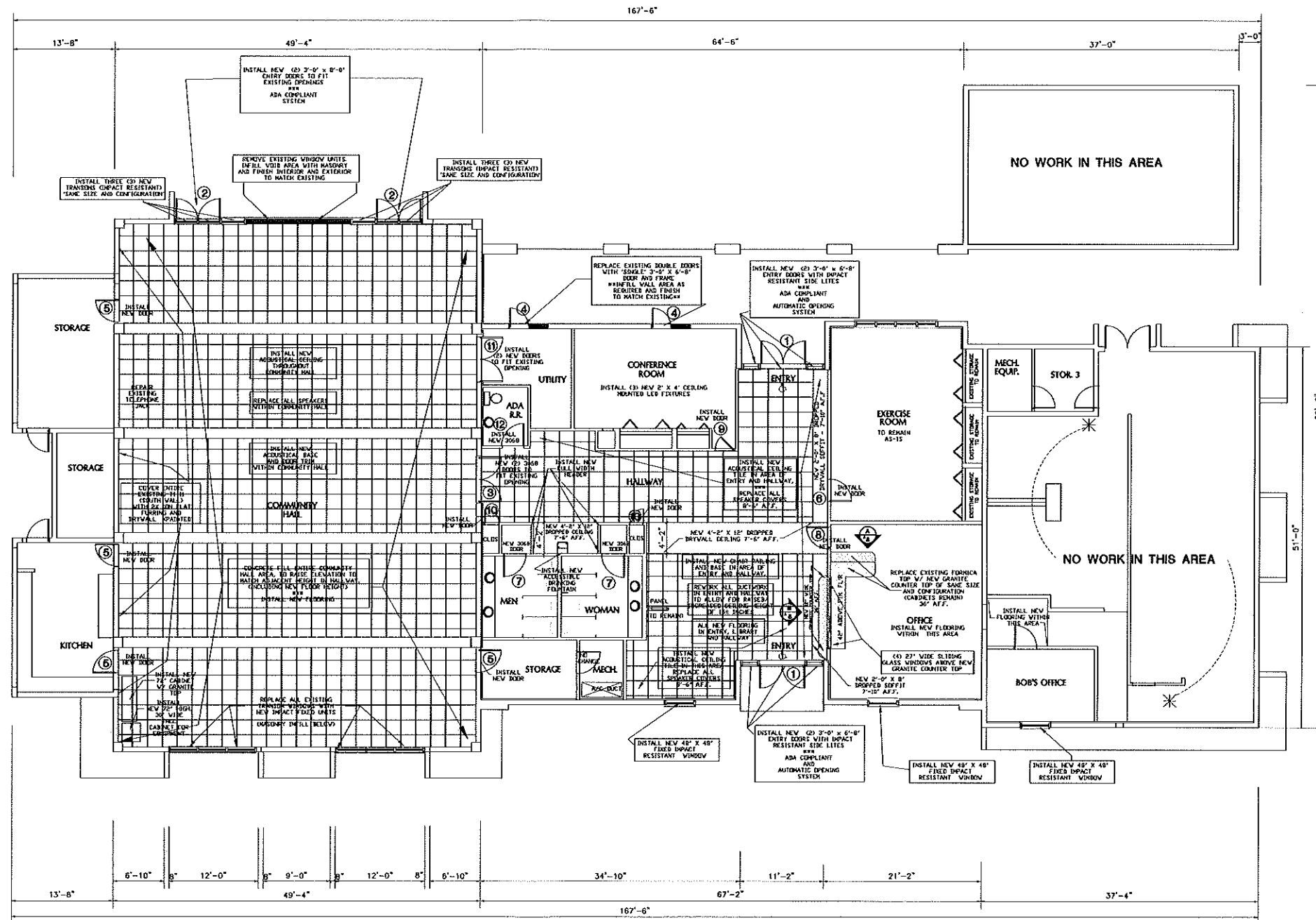
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C:\p\2017\HOLIDAY PARK COMMUNITY FACILITIES SUBDIVISION-2 - HOLIDAY PARK - DEMOLITION FLOOR PLAN - FIELD MEASUREMENT - 1/4 SCALE.dwg, 10/22/2021 10:01:28 AM, JZ - fibner - Levine & Associates - Architects & Planners

SCOPE OF WORK



- RECONFIGURE MECHANICAL DUCTWORK IN ENTRY AND HALLWAY FOR RAISING OF CEILING HEIGHT.
- REPLACE ALL INTERIOR DOORS AS INDICATED.
- REPLACE EXTERIOR DOORS AND SIDELITES WITH IMPACT RESISTANT, WHERE INDICATED ON DRAWINGS.
- INSTALL 3 NEW WINDOWS.
- REPLACE TRANSOM WINDOWS (WHERE INDICATED) IN COMMUNITY HALL.
- MASONRY INFILL ALL WALL AREAS EFFECTED BY REMOVAL OF WINDOWS IN COMMUNITY HALL.
- MASONRY INFILL WALL AREA IN UTILITY AND CONFERENCE ROOM DUE TO DOOR MODIFICATION.
- NEW 2 X 2 ACOUSTICAL CEILING THROUGHOUT COMMUNITY HALL, HALLWAY AND ENTRY.
- NEW FLOORING IN COMMUNITY HALL, HALLWAY, ENTRY, OFFICE AND HALLWAY TO BOB'S OFFICE.
- NEW LED LIGHTING THROUGHOUT.
- NEW ACOUSTICAL SOUND CLOUDS IN COMMUNITY HALL, AS INDICATED.
- NEW ACOUSTICAL WALL PANELS IN COMMUNITY HALL.
- INSTALL FURRING & DRYWALL ON SOUTH WALL OF COMMUNITY HALL.
- NEW ELECTRICAL FOR MOTORIZED BLINDS IN COMMUNITY HALL TRANSOMS.
- NEW MOTORIZED TRANSOM BLINDS, STANDARD COLOR.
- NEW AUTOMATIC DOOR OPENERS AT MAIN ENTRY DOORS (EAST & WEST ENTRY).
- NEW 6'-0" CABINET AND GRANITE TOP IN COMMUNITY HALL.
- NEW GRANITE COUNTERS AT CASHIER AND IN OFFICE AREA.
- NEW GLASS WINDOWS AT CASHIERS.
- NEW WOOD BASEBOARD THROUGHOUT ENTRY, HALLWAY AND COMMUNITY HALL.
- NEW CHAIR RAIL IN ALL HALLWAYS, ENTRY.
- NEW ADA COMPLIANT WATER FOUNTAIN (ELKAY EZSBWSLK).
- RE-PAINT COMMUNITY HALL, HALLWAY, ENTRY AND OFFICE WALLS.
- THREE (3) NEW SURFACE MOUNTED LED LIGHT FIXTURES, IN CONFERENCE ROOM.
- REPAIR TELEPHONE JACK IN COMMUNITY HALL.
- INSTALL NEW 6'-0" DIA. CEILING FANS IN COMMUNITY HALL.
- INSTALL CONCRETE FILLER/UNDERLAYMENT IN COMMUNITY HALL TO MATCH ELEVATION OF HALLWAY.
- REPLACE SPEAKERS IN COMMUNITY HALL.
- REPLACE SPEAKERS COVERS IN HALLWAY AND ENTRY.
- REPLACE ALL EXIT LIGHTS AND EMERGENCY LIGHTS.
- REPLACE ALL EXISTING EXTERIOR DOORS + SIDELIGHTS - FULL GLASS PANELS
- ALL NEW INTERIOR DOORS SHALL HAVE FULL FROSTED GLASS PANELS



HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
 REMODELING AND RENOVATION  
 5401 HOLIDAY PARK BOULEVARD  
 NORTH PORT, FLORIDA

PRELIMINARY   
 CONSTRUCTION   
 FINAL RECORD   
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DESIGN BY  
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 CHECKED BY  
 ESK  
 DATE  
 OCTOBER 20, 2021  
 PLAN NO.  
 HL 21-1163

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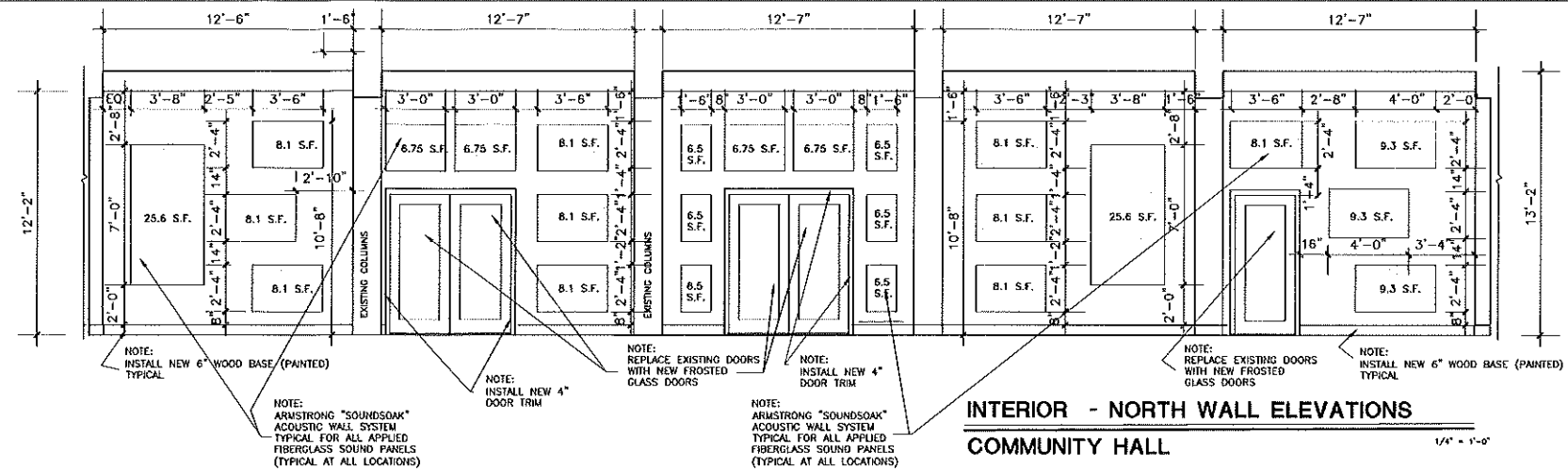
PROPOSED FLOOR PLAN



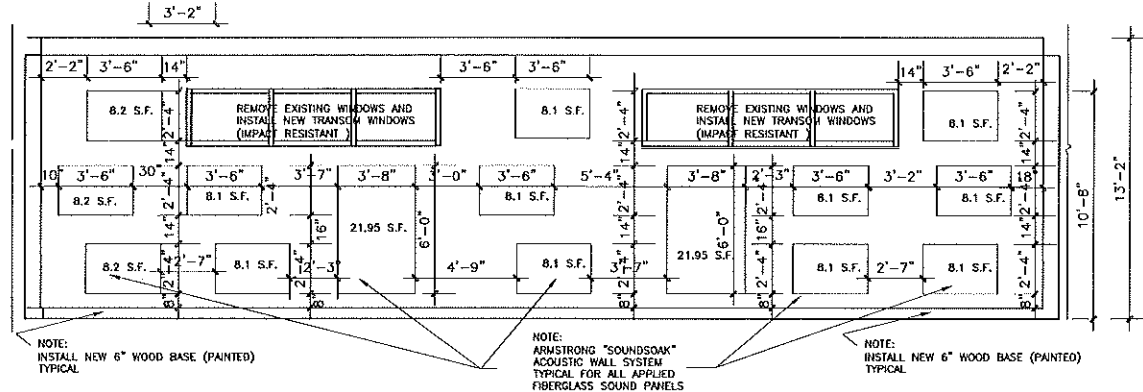




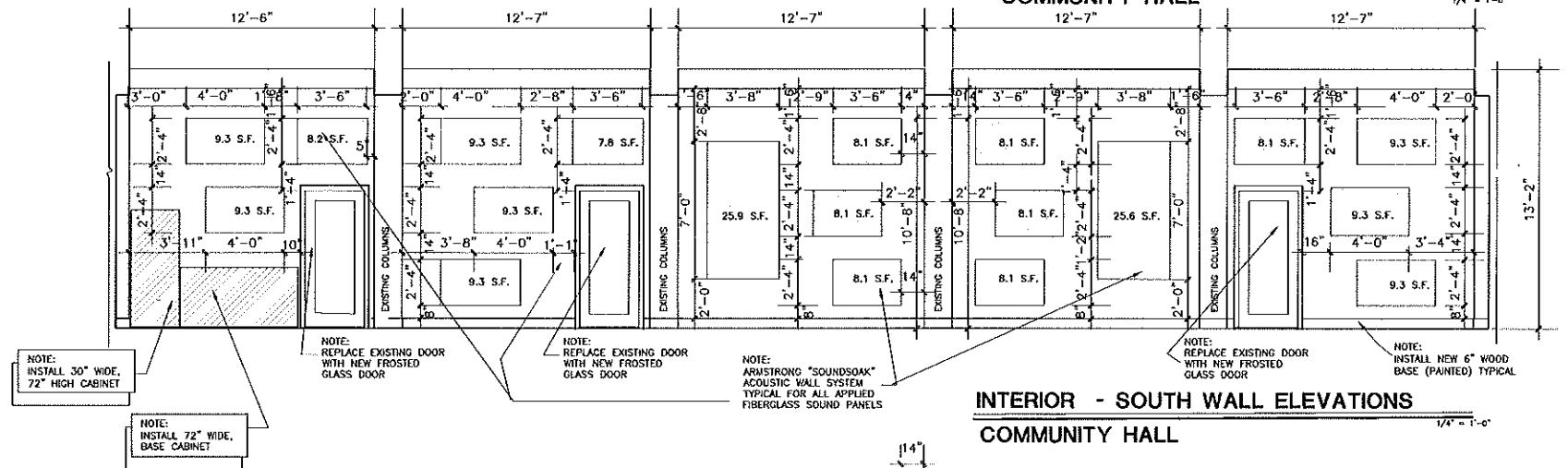




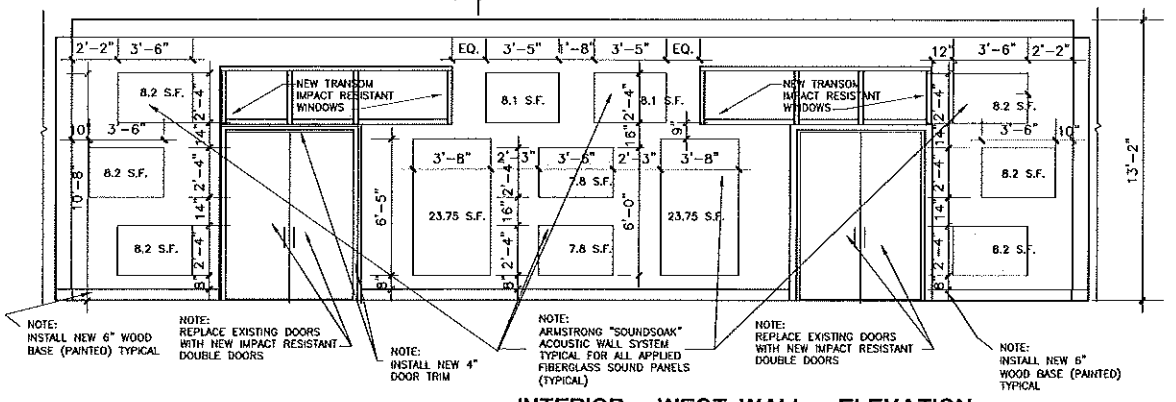
**INTERIOR - NORTH WALL ELEVATIONS**  
**COMMUNITY HALL**  
 1/4" = 1'-0"



**INTERIOR - EAST WALL - ELEVATION**  
**COMMUNITY HALL**  
 1/4" = 1'-0"



**INTERIOR - SOUTH WALL ELEVATIONS**  
**COMMUNITY HALL**  
 1/4" = 1'-0"



**INTERIOR - WEST WALL - ELEVATION**  
**COMMUNITY HALL**  
 1/4" = 1'-0"

**REMODELING AND RENOVATION**  
**HOLIDAY PARK - COMMUNITY FACILITIES BUILDING**  
**5401 HOLIDAY PARK BOULEVARD**  
**NORTH PORT, FLORIDA**

PRELIMINARY   
 CONSTRUCTION   
 FINAL RECORD   
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 DATE: OCTOBER 20, 2011  
 PLAN NO: HL 21-1163  
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**FIBNER + LEVINE & ASSOCIATES**  
 Architects - Planners  
 484-9330  
 400 South Tamiami Trail - Suite 100  
 Venice, Florida 34285





DOOR AND FRAME SCHEDULE INFORMATION GRAPH													
LOCATION	MARK	SIZE	DOOR				HARDWARE		GLASS		REMARKS		
			TYPE	FIN	LATCH	CLOSER.	TYPE	TYPE					
FRONT ENTRY	①	(2) 3'-0" x 6'-8" x 1-3/4"	POP INSULATED ALUMINUM SIDING										
COMMUNITY HALL POOL ENTRY	②	(2) 3'-0" x 8'-0" x 1-3/4"	IMPACT SOLID DOOR										
COMMUNITY HALLWAY	③	(2) 3'-0" x 6'-8" x 1-3/4"											
UTILITY/CONFERENCE	④	3'-0" x 6'-8" x 1-3/4"											
STORAGE / KITCHEN	⑤	3'-0" x 6'-8" x 1-3/4"											
EXERCISE	⑥	3'-0" x 6'-8" x 1-3/4"											
RESTROOM	⑦	3'-0" x 6'-8" x 1-3/4"											
BUSINESS OFFICES	⑧	3'-0" x 6'-8" x 1-3/4"											
CONFERENCE ROOM	⑨	2'-8" x 6'-8" x 1-3/4"											
CLOSET / STORAGE	⑩	1'-8" x 6'-8" x 1-3/4"											
UTILITY	⑪	(2) 3'-0" x 6'-8" x 1-3/4"											
ADA UNI-SEX RESTROOM	⑫	3'-0" x 6'-8" x 1-3/4"											

SCHEDULES

HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
 REMODELING AND RENOVATION  
 5401 HOLIDAY PARK BOULEVARD  
 NORTH PORT, FLORIDA

PRELIMINARY   
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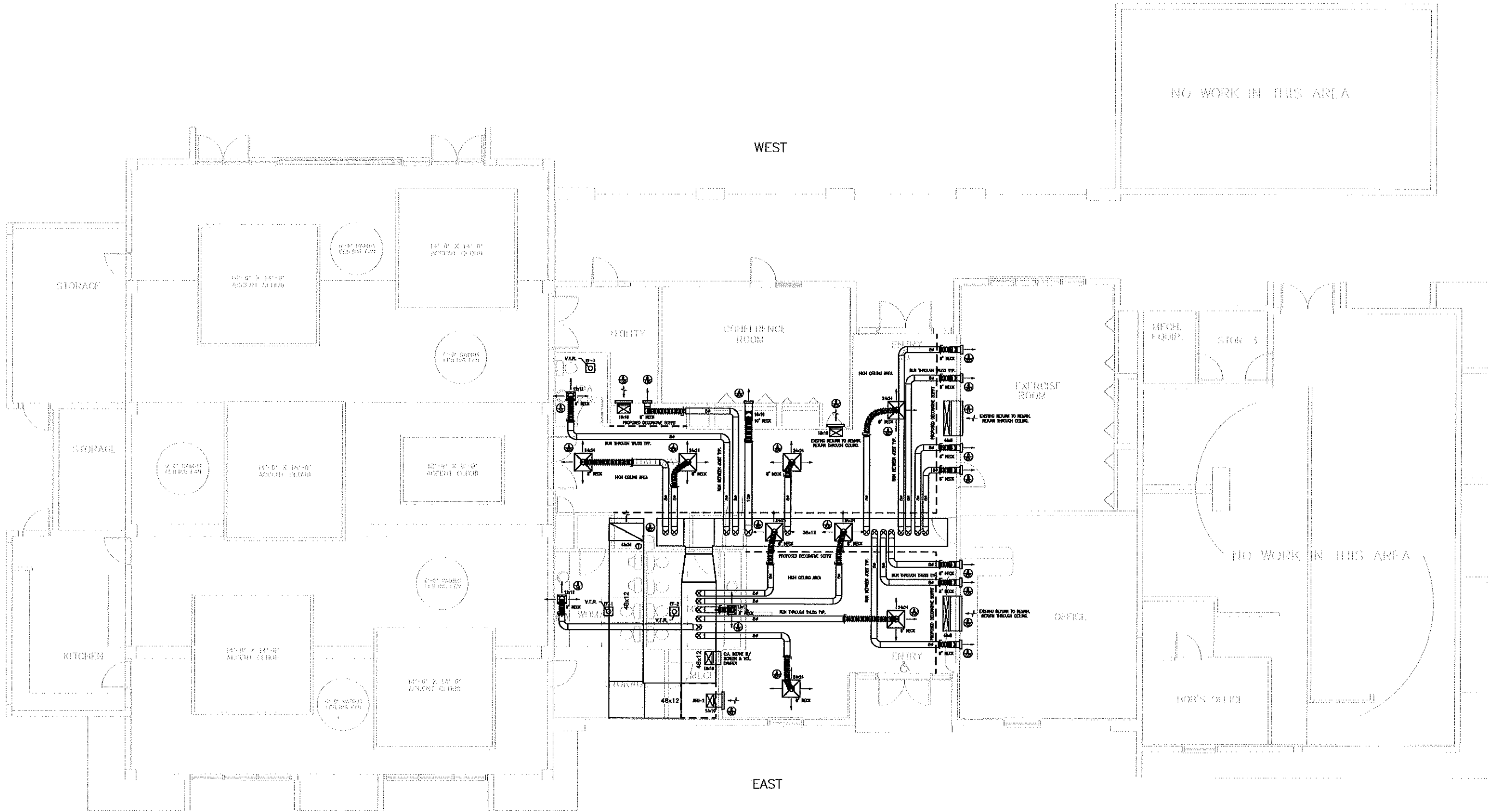
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 HL 21-1163

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**HIBNER + LEVINE & ASSOCIATES**  
 Architects • Planners  
 484 South Tamiami Trail - Suite 108  
 Venice, Florida 34285  
 404-863-8333





HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
 REMODELING & RENOVATION  
 5401 HOLIDAY PARK BOULEVARD  
 NORTH PORT, FLORIDA

PRELIMINARY   
 CONSTRUCTION   
 FINAL RECORD   
 REVISIONS

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 C.M.  
 CHECKED BY  
 E.M.  
 DATE  
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 PLAN NO.  
 HL 21-1163

**PROPOSED HVAC PLAN**

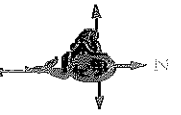
3/16" = 1'-0"

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**HOLIDAY PARK Building Ventilation Rates**  
Per ANSIASHRAE Standard 62.1, Table 6-1  
(Known Occupancy Values)

Zone	Occupancy Category	Number of Occupants	CFM/Person	CFM/FT <sup>2</sup>	FT <sup>2</sup>	O.A. (CFM)
AHU-2	ENTRY	1	5	0.06	2000	125.00
	HALLWAY	1	5	0.06	1134	73.04
	CONFERENCE RM	3	5	0.06	297	32.82
	UTILITY	1	5	0.06	121	12.28
	EXERCISE RM	3	20	0.06	515	90.90
	OFFICE	3	5	0.06	472	43.32
Minimum Outside Air Required (TOTAL)						377.34
Outside Air Provided (TOTAL)						500.00

**DIFFUSER REGISTER & GRILLE SCHEDULE**

MARK	NECK SIZE	MANUFACTURER	MODEL NO.	REMARKS
A	24X24	METAL-AIRE	CC-5	WHITE FINISH
B	12X12	METAL-AIRE	EP-CG5-1	WHITE FINISH

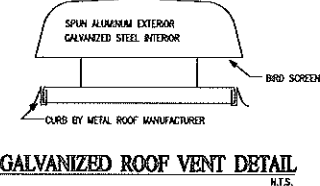
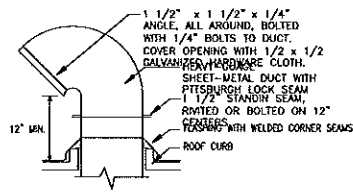
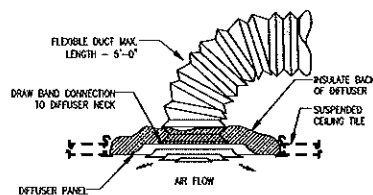
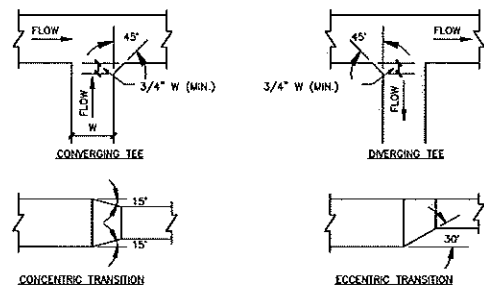
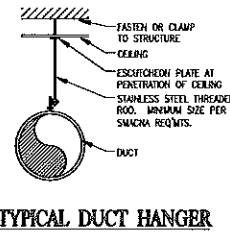
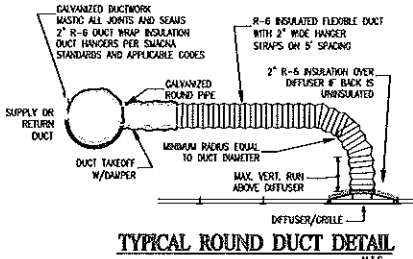
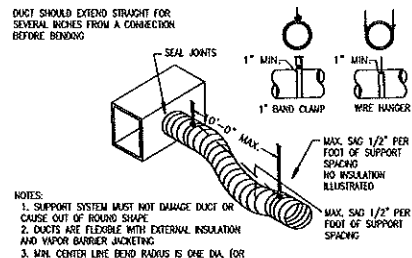
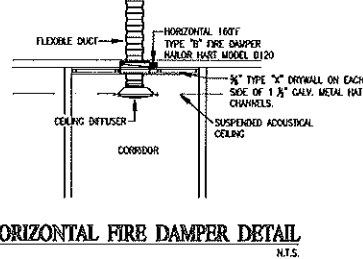
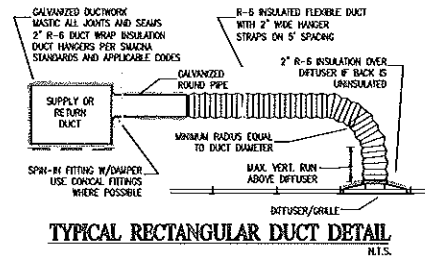
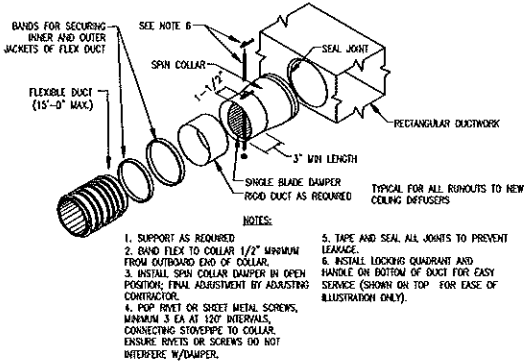
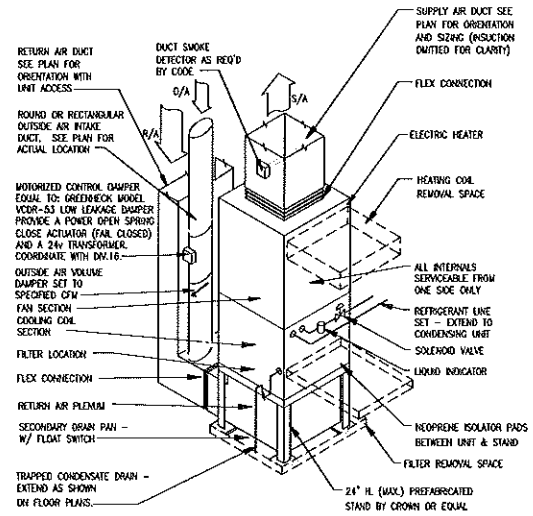
**SPLIT SYSTEM AIR CONDITIONING EQUIPMENT SCHEDULE**

MARK	AHU-2
CFM	4,000
NOMINAL TONS REF.	10
FAN MOTOR H.P. & F.L.A.	2 - 5.4
UNIT VOLTAGE	208-230/1/50
MANUFACTURER	GENERAL ELECTRIC
MODEL	NE 120 CA A
WEIGHT (LBS.)	383
REMARKS	HEAT PUMP
MOUNTING	6" ABOVE FLOOR ON ZIG FRAME

GENERAL AIR CONDITIONING EQUIPMENT NOTES:  
 COOLING CAPACITIES BASED ON 80°F DB, 67°F WB ENTERING AIR, 95°F AMBIENT.  
 AIR HANDLERS PROVIDED WITH STANDBY FILTER FRAMES AND INTEGRAL CIRCUIT BREAKERS.  
 ALL FILTERS SHALL BE REPLACED WHEN CONSTRUCTION IS COMPLETED.  
 AIR HANDLERS SHALL BE PROVIDED WITH A SECONDARY DRAIN PAN AND FLOAT SWITCH. PROVIDE PRIMARY CONDENSATE DRAIN TRAPS WITH A FLOAT SWITCH. FLOAT SWITCHES SHALL PROVIDE UNIT SHUT DOWN WHEN TRIPPED.

**EXHAUST FAN & GRV SCHEDULE**

MARK	EF-1, 2, & 3
MANUFACTURER	GREENHECK
MODEL NO.	SP-252
CFM	50 CFM
S.P. (IN H2O)	0.125
RPM	1070
HP/WATTS	22/4W
ELECTRIC SERVICE	120/1/60
ACCESSORIES	GRSF ROOF CAP



**COORDINATION REQUIREMENTS AND RESPONSIBILITY**

THE MECHANICAL DESIGN AND EQUIPMENT SELECTION HAS BEEN COORDINATED WITH PLUMBING AND FIRE PROTECTION REQUIREMENTS AND WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS THAT WERE AVAILABLE AT THE TIME OF DESIGN. THE MECHANICAL CONTRACTOR SHALL NOTIFY THE GC/CM OF FIELD CONDITIONS THAT MAY REQUIRE ALTERNATE DUCT SIZES OR ROUTING PRIOR TO MAKING SUCH CHANGES.

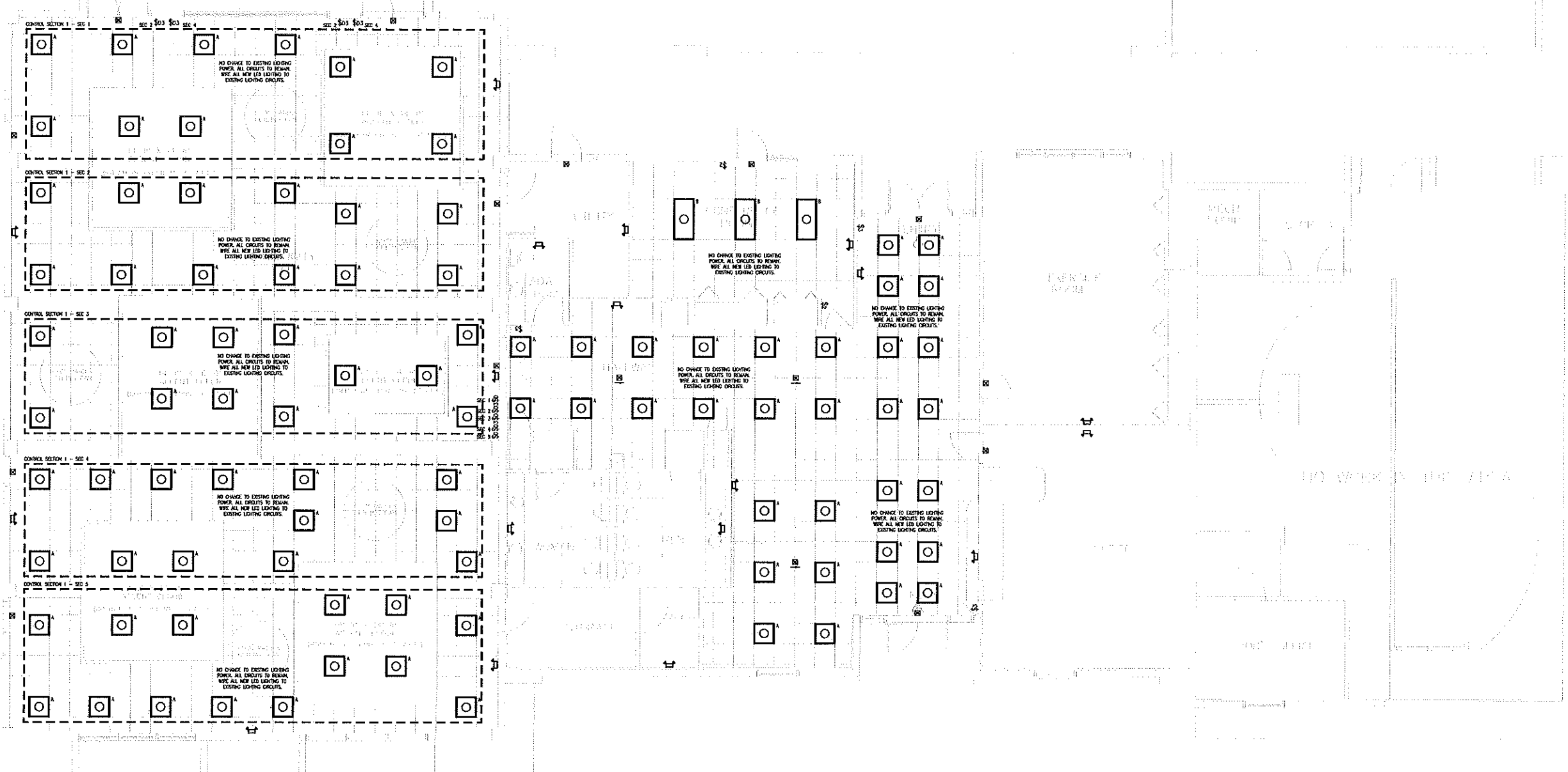
IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER TO SUPERVISE THE COORDINATION OF ALL COMPONENTS OF THE BUILDING DESIGN, INCLUDING BUT NOT LIMITED TO THE ROOF TRUSSES, STRUCTURAL MEMBERS AND ARCHITECTURAL FEATURES, TO ENSURE FULL AND COMPLETE COMPLIANCE WITH THE DESIGN DOCUMENTS. THIS MAY REQUIRE THE REVIEW OF SHOP DRAWINGS BEFORE MANUFACTURING OF THESE COMPONENTS. ANY FAILURE TO COORDINATE THE WORK IS SOLELY THE RESPONSIBILITY OF THE GC/CM.

**CONTROL NOTE**

THE FRESH AIR DEMAND CONTROL OF HVAC SYSTEMS REQUIRE THE SYSTEM FAN OPERATION RUN CONTINUOUSLY DURING OCCUPIED HOURS (OWNER ADJUSTABLE). WHEN THE CO2 CONCENTRATION REACHES 1000 PPM, THE OA DAMPERS WILL FULLY OPEN. WHEN THE CO2 LEVELS FALL TO 800 PPM, THE DAMPERS SHALL RETURN TO MANUAL OPERATION (50% OF OA). DURING UNOCCUPIED HOURS ALL THE DAMPERS SHALL CLOSE COMPLETELY.

**HVAC SCHEDULE & DETAILS**  
N.T.S.

DO NOT SCALE DRAWINGS - USE CALCULATED DIMENSIONS



HOLIDAY PARK - COMMUNITY FACILITIES BUILDING  
 REMODELING & RENOVATION  
 5401 HOLIDAY PARK BOULEVARD  
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DRAWN BY  
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 CHECKED BY  
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 HL 21-1163

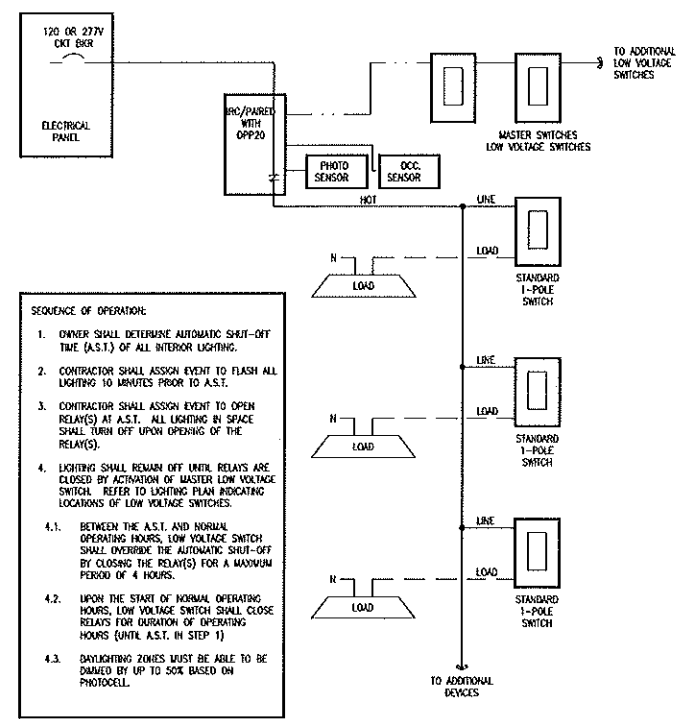
**ELECTRICAL LIGHTING PLAN**  
 3/16" = 1'-0"

DO NOT SCALE DRAWINGS - USE CALCULATED DIMENSIONS

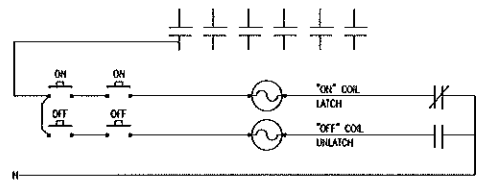
SHEET NO.  
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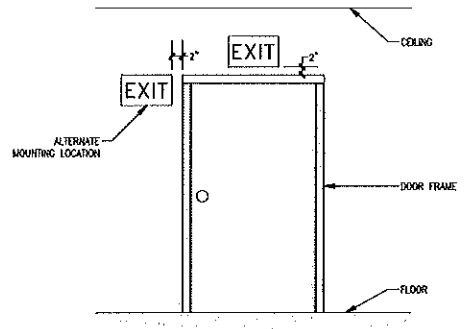




IRC CONTROL SWITCH TYPICAL DETAIL & SEQUENCE OF OPERATION  
N.T.S.



LIGHTING CONTACTOR WIRING DIAGRAM  
N.T.S.



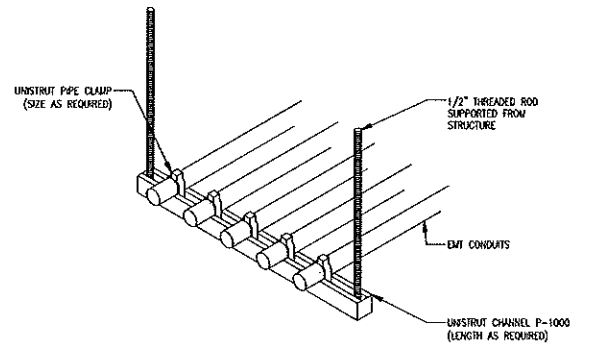
EXIT SIGN MOUNTING DETAIL  
N.T.S.

LIGHTING FIXTURE SCHEDULE					
LTR	MANUFACTURER	CATALOG NUMBER	LAMPS	MOUNTING	REMARKS
A	SLG LIGHTING	TP 22 35 G2 40K	3500	RECESSED	DIMMABLE 30 WATT LED DOWNLIGHTING
B	SLG LIGHTING	TP 24 55 G2 40K	5550	RECESSED	50 WATT LED DOWNLIGHTING

GENERAL NOTES:  
 1. ALL COMMON OR GENERALLY OCCUPIED AREAS TO PROVIDE DIMMER SWITCHES AS REQUIRED BY F.E.C 405.2.1.1 (LIGHTING CONTROLS) AND 405.2.1.2 (LIGHTING REDUCTION).

LIGHTING & SWITCH SYMBOL LEGEND		
SYMBOL	DESCRIPTION	COMMENT
○	TYPICAL 2X4 RECESSED DOWNLIGHT SUB LETTER INDICATES FIXTURE TYPE	SEE FIXTURE SCHEDULE
◻	TYPICAL 2X2 RECESSED DOWNLIGHT SUB LETTER INDICATES FIXTURE TYPE	SEE FIXTURE SCHEDULE
⊕	EMERGENCY LED LIGHT FIXTURE SUB LETTER INDICATES FIXTURE TYPE	SEE FIXTURE SCHEDULE
⊞	CEILING OR WALL-MOUNTED, SELF-CONTAINED EMERGENCY EXIT SIGN WITH DIRECTIONAL ARROWS AS INDICATED ON PLANS	SEE FIXTURE SCHEDULE
\$	SINGLE POLE SWITCH (20 AMP)	MOUNT AT 48" AFF UNLESS OTHERWISE NOTED
\$0	OCCUPANCY SWITCH (20 AMP)	MOUNT AT 48" AFF UNLESS OTHERWISE NOTED
\$2	2-WAY SWITCH (20 AMP)	MOUNT AT 48" AFF UNLESS OTHERWISE NOTED
\$3	3-WAY SWITCH (20 AMP)	MOUNT AT 48" AFF UNLESS OTHERWISE NOTED
\$0	DIMMER SWITCH (20 AMP)	MOUNT AT 48" AFF UNLESS OTHERWISE NOTED

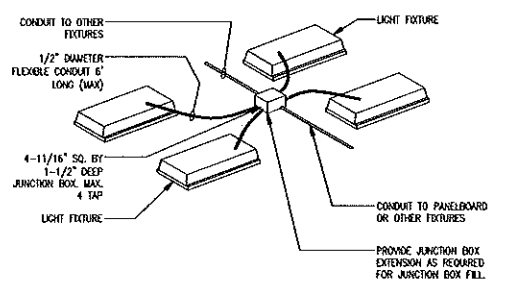
RECEPTACLE, DATA & TELEVISION SYMBOL LEGEND		
SYMBOL	DESCRIPTION	COMMENT
⊖	DUPLEX RECEPTACLE	MOUNT AT 18" AFF UNLESS OTHERWISE NOTED
⊖⊖	GFI DUPLEX RECEPTACLE	MOUNT AT 18" AFF UNLESS OTHERWISE NOTED
⊖⊖	CEILING MOUNTED RECEPTACLE	MOUNT ON CEILING UNLESS OTHERWISE NOTED
⊞	JUNCTION BOX	ACCORDING TO NEC REQUIREMENTS
⊞	ADA DOOR OPENER SWITCH	ACCORDING TO ADA NEC REQUIREMENTS



CONDUIT SUPPORT DETAIL  
N.T.S.

ELECTRICAL FEEDER/WIRE SCHEDULE					
O.C.P.D. AMPERE RATING	2 WIRE WITH GROUND	SYMBOL	3 WIRE WITH GROUND	SYMBOL	4 WIRE WITH GROUND
20A	2-#12, #12G, IN 3/4" C.	(A20)	3-#12, #12G, IN 3/4" C.	(B20)	4-#12, #12G, IN 3/4" C.
25A	2-#10, #10G, IN 3/4" C.	(A25)	3-#10, #10G, IN 3/4" C.	(B25)	4-#10, #10G, IN 3/4" C.
30A	2-#10, #10G, IN 3/4" C.	(A30)	3-#10, #10G, IN 3/4" C.	(B30)	4-#10, #10G, IN 3/4" C.
35A	2-#8, #10G, IN 3/4" C.	(A35)	3-#8, #10G, IN 3/4" C.	(B35)	4-#8, #10G, IN 3/4" C.
40A	2-#8, #10G, IN 3/4" C.	(A40)	3-#8, #10G, IN 3/4" C.	(B40)	4-#8, #10G, IN 3/4" C.
45A	2-#8, #10G, IN 3/4" C.	(A45)	3-#8, #10G, IN 3/4" C.	(B45)	4-#8, #10G, IN 1" C.
50A	2-#8, #10G, IN 3/4" C.	(A50)	3-#8, #10G, IN 3/4" C.	(B50)	4-#8, #10G, IN 1" C.
60A	2-#8, #10G, IN 3/4" C.	(A60)	3-#8, #10G, IN 3/4" C.	(B60)	4-#8, #10G, IN 1" C.
70A	2-#4, #8G, IN 1" C.	(A70)	3-#4, #8G, IN 1" C.	(B70)	4-#4, #8G, IN 1 1/4" C.
80A	2-#3, #8G, IN 1 1/4" C.	(A80)	3-#3, #8G, IN 1 1/4" C.	(B80)	4-#3, #8G, IN 1 1/4" C.
90A	2-#2, #8G, IN 1 1/4" C.	(A90)	3-#2, #8G, IN 1 1/4" C.	(B90)	4-#2, #8G, IN 1 1/2" C.
100A	2-#2, #8G, IN 1 1/4" C.	(A100)	3-#2, #8G, IN 1 1/4" C.	(B100)	4-#2, #8G, IN 1 1/2" C.
125A	2-#1, #8G, IN 1 1/2" C.	(A125)	3-#1, #8G, IN 1 1/2" C.	(B125)	4-#1, #8G, IN 1 1/2" C.
150A		(A150)	3-#1/0, #8G, IN 1 1/2" C.	(B150)	4-#1/0, #8G, IN 2" C.
175A		(A175)	3-#2/0, #8G, IN 2" C.	(B175)	4-#2/0, #8G, IN 2" C.
200A		(A200)	3-#3/0, #8G, IN 2" C.	(B200)	4-#3/0, #8G, IN 2" C.
225A		(A225)	3-#4/0, #8G, IN 2 1/2" C.	(B225)	4-#4/0, #8G, IN 2 1/2" C.
250A		(A250)	3-250MCM, #8G, IN 2 1/2" C.	(B250)	4-250MCM, #8G, IN 3" C.
300A		(A300)	3-#500 MCM, 1-#4 Cu G. IN 3" C.	(B300)	4-#500 MCM, 1-#4 Cu G. IN 3" C.
350A		(A350)	3-#500 MCM, 1-#3 Cu G. IN 3 1/2" C.	(B350)	4-#500 MCM, 1-#3 Cu G. IN 3 1/2" C.
400A		(A400)	3-#500 MCM, 1-#3 Cu G. IN 3 1/2" C.	(B400)	4-#500 MCM, 1-#3 Cu G. IN 3 1/2" C.
450A		(A450)	2 SETS: 3-#500 MCM, 1-#2 Cu G. EACH IN 2 1/2" C.	(B450)	2 SETS: 4-#500 MCM, 1-#2 Cu G. EACH IN 2 1/2" C.
500A		(A500)	2 SETS: 3-#500 MCM, 1-#2 Cu G. EACH IN 3" C.	(B500)	2 SETS: 4-#500 MCM, 1-#2 Cu G. EACH IN 3" C.
600A		(A600)	2 SETS: 3-#500 MCM, 1-#1 Cu G. EACH IN 3" C.	(B600)	2 SETS: 4-#500 MCM, 1-#1 Cu G. EACH IN 3" C.
700A		(A700)	2 SETS: 3-#500 MCM, 1-#1/0 Cu G. EACH IN 3 1/2" C.	(B700)	2 SETS: 4-#500 MCM, 1-#1/0 Cu G. EACH IN 3 1/2" C.
800A		(A800)	2 SETS: 3-#500 MCM, 1-#1/0 Cu G. EACH IN 3 1/2" C.	(B800)	2 SETS: 4-#500 MCM, 1-#1/0 Cu G. EACH IN 3 1/2" C.
1000A		(A1000)	3 SETS: 3-#500 MCM, 1-#2/0 Cu G. EACH IN 3" C.	(B1000)	3 SETS: 4-#500 MCM, 1-#2/0 Cu G. EACH IN 3 1/2" C.
1200A		(A1200)	4 SETS: 3-#500 MCM, 1-#3/0 Cu G. EACH IN 3" C.	(B1200)	4 SETS: 4-#500 MCM, 1-#3/0 Cu G. EACH IN 3 1/2" C.
1600A		(A1600)	5 SETS: 3-#500 MCM, 1-#4/0 Cu G. EACH IN 3" C.	(B1600)	5 SETS: 4-#500 MCM, 1-#4/0 Cu G. EACH IN 3 1/2" C.
G1	1-#1/0 G IN 1" C.	(G1)	1-#2/0 G IN 1" C.	(G2)	1-#3/0 G IN 1" C.

X INDICATES NO GROUND WIRE. X INDICATES NO CONDUIT  
 1. OVERCURRENT PROTECTION DEVICE  
 1. ON ALL SINGLE PHASE CIRCUITS, INCREASE ONE WIRE SIZE FOR EACH 100 FEET OF CIRCUIT LENGTH. MAKE THE NECESSARY CONDUIT CHANGES TO REMAIN WITHIN THE RACEWAY FILL REQUIREMENTS.  
 2. CONDUIT SIZES SHOWN IN THIS SCHEDULE ARE BASED ON THIN COPPER CONDUCTORS.  
 3. FOR UNDERGROUND FEEDERS, USE 200W-2 90°C CONDUCTORS. ADJUST CONDUIT SIZE AS NECESSARY TO REMAIN WITHIN THE RACEWAY FILL REQUIREMENTS.



RECESSED LIGHT FIXTURE WIRING TAP DETAIL  
N.T.S.

ELECTRICAL GENERAL NOTES
1. DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT, CONDUITS, LIGHTING FIXTURES RECEPTACLES, ETC.
2. COORDINATE ALL DEVICE LOCATIONS WITH OTHER TRADES AND WITH ARCHITECTURAL, INTERIOR DESIGN AND FURNISHING PLANS.
3. ALL ELECTRICAL WORK SHALL BE PER THE NATIONAL ELECTRIC CODE, AND THE FLORIDA BUILDING CODE, AND ANY LOCAL ORDINANCES.
4. CONTRACTOR SHALL PAY FOR ALL FEES, TAXES AND PERMITS.
5. ALL POWER AND LINE VOLTAGE CONTROL WIRING BY THE ELECTRICAL CONTRACTOR. HVAC CONTROL WIRING BY MECHANICAL CONTRACTOR. CONDUIT INSTALLED BY ELECTRICIAN.
6. ALL PANELS SHALL HAVE COMPLETELY FILLED OUT DIRECTORIES.
7. THE CONTRACTOR SHALL KEEP AN UPDATED SET OF AS-BUILT DRAWINGS ON THE JOB-SITE AT ALL TIMES. FINISHED AS-BUILT DRAWINGS SHALL BE TURNED OVER TO THE OWNER AT THE TIME OF PROJECT COMPLETION.
8. ALL WIRE AND CABLE SHALL BE COPPER, MINIMUM SIZE #12 AWG (#14 AWG SHALL BE USED FOR CONTROL WIRING). SIZE #10 AWG AND SMALLER SHALL BE SOLID TYPE THIN OR THIN, SIZES #8 AWG AND LARGER SHALL BE STRANDED TYPE THIN OR THIN. ALL WIRING SHALL BE INSTALLED IN EXIT TYPE CONDUIT (EXCEPTION: 6" FIXTURE AND EQUIPMENT DROPS AND SABLER WHIPS).
9. CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL THE EXISTING CONDITIONS.
10. ALL REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
11. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A GUARANTEE AGAINST DEFECTIVE WORKMANSHIP, MATERIALS AND EQUIPMENT FOR A PERIOD OF 1 YEAR FROM THE DATE OF ACCEPTANCE.
12. AT DATA/COMM/TEL OUTLETS SHOWN, PROVIDE 4-BOX AND 3/4" CONDUIT TO 6" ABOVE CEILING. FACE PLATE AND WIRING BY OTHERS.
13. COORDINATE ALL CONDUIT REQUIREMENTS WITH HVAC CONTROLS, FIRE ALARMS, SECURITY AND OTHER TRADES.
14. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER OPERATION AND WITH GOOD WORKMANSHIP, ARE TO BE INCLUDED BY THE CONTRACTOR IN HIS ESTIMATE, THE SAME AS IF SHOWN IN THE DRAWINGS OR SPELLED OUT IN THE SPECIFICATIONS.
15. THE ELECTRICAL CONTRACTOR SHALL ADDRESS ANY PRE-BID AND/OR FIELD DISCOVERED PROBLEMS AND OR CONFLICTS, ETC. VIA TYPEWRITTEN RFI TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE BID DATE.
16. MATERIALS OR PRODUCTS SPECIFIED HEREIN AND/OR INDICATED ON DRAWINGS BY TRADE NAME, MANUFACTURER'S NAME OR CATALOG NUMBER SHALL BE PROVIDED AS SPECIFIED OR EQUAL. ALL PROPOSED SUBSTITUTIONS TO ITEMS SPECIFIED ON THESE PLANS ARE TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT PRIOR TO THE DEADLINE COORDINATED BY BIDDING AUTHORITY.
17. APPROVALS OF "OR EQUIVALENT" SUBSTITUTIONS MAY BE COMMUNICATED TO ALL BIDDERS AS AN ADDENDUM TO THE CONTRACT DOCUMENTS AS DETERMINED NECESSARY BY ENGINEER/ARCHITECT.
18. ANY CONTRACTOR WISHING TO SUBMIT FOR AN "OR EQUIVALENT" SUBSTITUTION WILL SUBMIT WITH HIS REQUEST COMPLETE CATALOG INFORMATION TO PERMIT EVALUATION OF THE PRODUCT, AND IN THE CASE OF LIGHTING FIXTURES, A PHOTOGRAPHIC POINT-BY-POINT REPORT FOR EACH AREA AFFECTED BY SUBSTITUTION(S).

ENERGY COMPLIANCE METHOD
INSTALL SMALLER OR EQUAL TO LISTED INTEGRATED ROOM CONTROL (IRC) DEVICE (RCCO-02). HARBELL, SIKORSKI AND OTHER ENERGY USE/SPACE CONTROLLERS ARE ACCEPTABLE.
• DEVICE MUST BE CAPABLE OF SINGLE ROOM OCCUPANCY SENSING, DAYLIGHT HARVESTING (IN PENETRATION AREAS), 0-10V DIMMING, PARTIAL ON, PARTIAL OFF AND DEMAND RESPONSE.
• ALLOWS FOR AUTOMATICALLY SETTING THE MAXIMUM LIGHT OUTPUT LEVELS AND CALCULATES LIGHT LOSS FACTOR FOR ACCURATE LUMEN MAINTENANCE.
• SHIPS AS EITHER CUSTOM KIT OR A COMPLETE KIT WITH A FACTORY CONFIGURED OCCUPANCY SENSOR, PHOTOCELL AND 4-BUTTON SWITCH.
• 4-BUTTON SWITCH PROVIDES ON, FANSE, LOWER AND OFF FUNCTIONALITY.
• 0-10V DIMMING AND DEMAND RESPONSE CAPABILITIES.
• STAND-ALONE SHARPED BRIGHT HARVESTING WITH FULL RANGE DIMMING.
• WITH FACTORY CONFIGURED SENSOR, PHOTOCELL AND 4-BUTTON SWITCH.
• 4-BUTTON SWITCH AVAILABLE WITH ON, BRIGHT, DIM AND OFFSET BUTTONS WITH INTERNAL DIMMING.
• 2 ENTRY STATIONS FOR INDIVIDUAL ZONE CONTROL, INCLUDED WITH 2 ZONE, 2 RELAY KIT (RCCO-102)
• PROVIDES PLUG LOAD CONTROL WHEN PAIRED WITH 00900 SUPER DUTY POWER PACK (REQUIRED SOX OF SUPPLIERS)
• ACCEPTS EXTERNAL TIME CLOCK INPUT TO PROVIDE AN OFF SLEEP FUNCTION OR MODIFY THE PARTIAL OFF FUNCTION.
• INTEGRATION WITH EMERGENCY SYSTEMS.
• DAYLIGHT SENSING, FULL RANGE 0-10V DIMMING.
• PARTIAL-ON CONTROL FOR INITIAL LIGHT LEVEL IN OTHER MANUAL SWITCH OR OCCUPANCY SENSOR AUTO MODE.
<b>MEETS THESE STANDARDS AND COMPLIANCE:</b>
• COMPLY WITH IBC, ASHRAE 90.1, AND 2016 TITLE 24, PART 6, 0-10V DIMMING, DAYLIGHT HARVESTING, PARTIAL-ON, PARTIAL-OFF, DEMAND RESPONSE.
• LE AND OLA LISTED
• LIMITED FIVE-YEAR WARRANTY